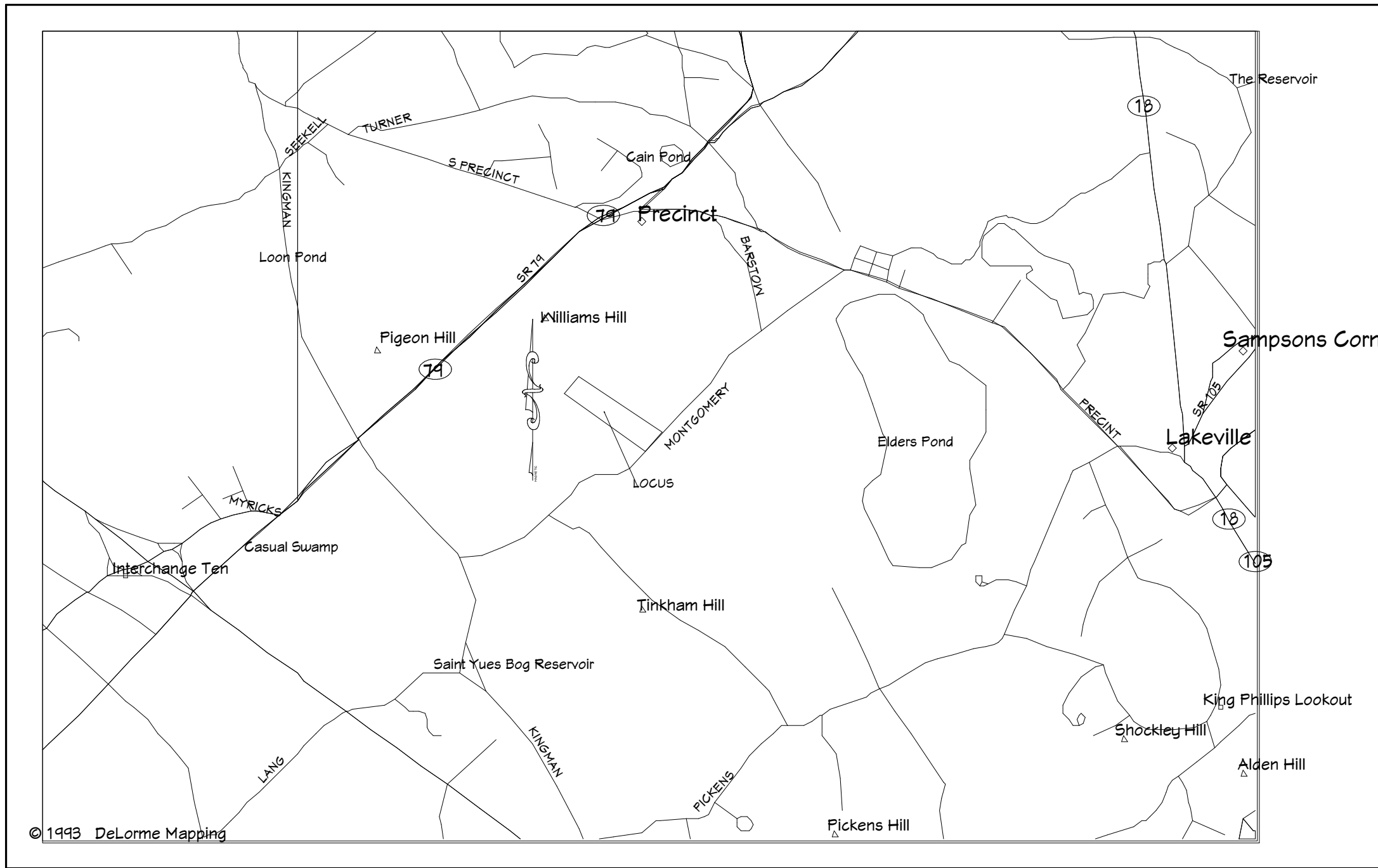
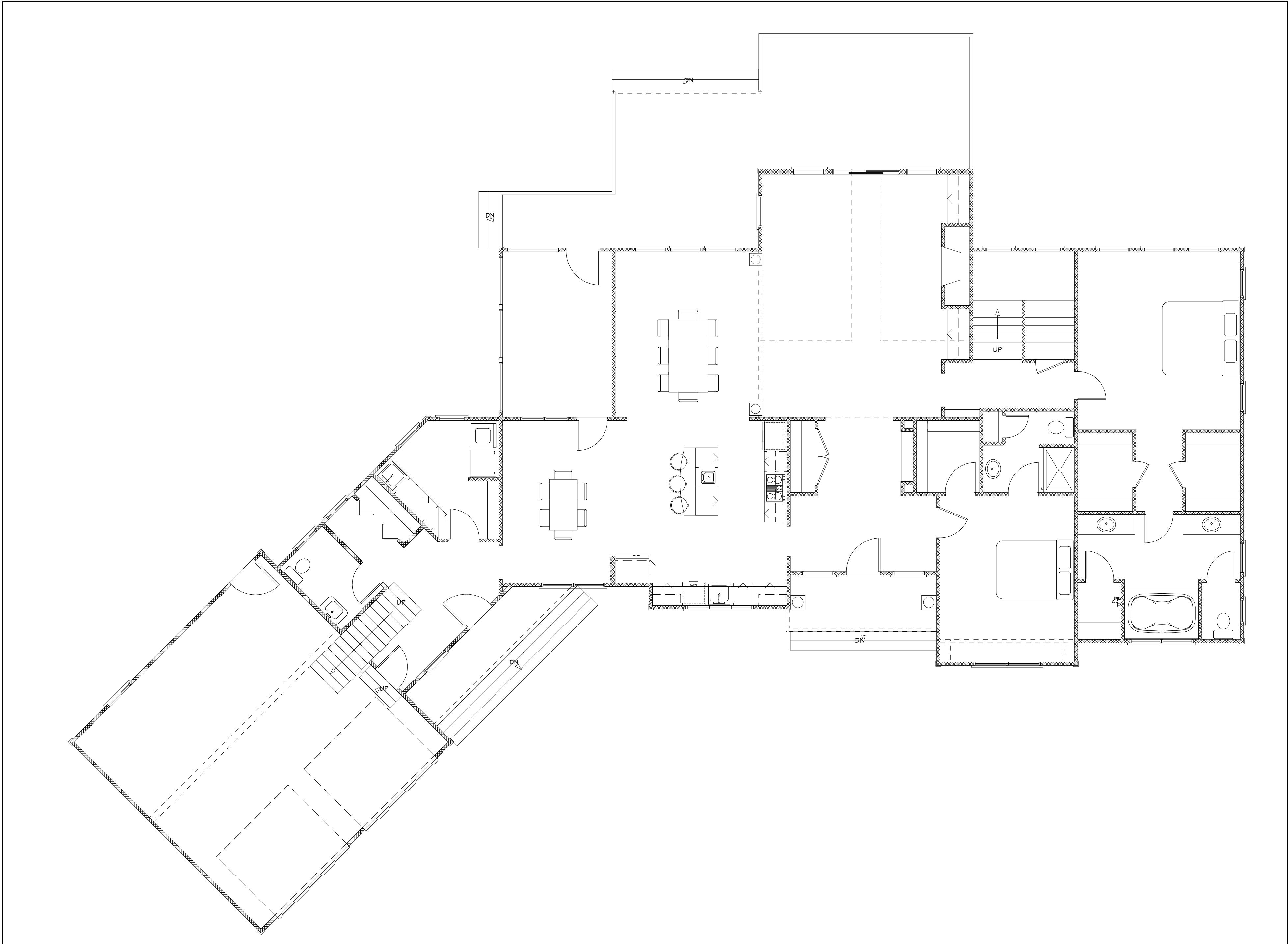




TITLE PAGE NOT TO SCALE



To the best of my knowledge these plans were drawn to comply with owner's and / or builder's specifications and any changes made to them after prints are made will be done at the owner's and / or builder's additional expense and responsibility. The contractor shall verify all dimensions and enclosed drawings. CAD Designs is not liable for errors once construction has begun.

While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

GENERAL NOTES

1. ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE MA. BUILDING CODE EDITION #6 AND ANY COUNTY OR TOWN BUILDING REQUIREMENTS.
2. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
3. DESIGN LOADS:

CEILING	20 P.S.F.
ROOF	25 P.S.F.
FLOOR	40 P.S.F.
STAIRS	100 P.S.F.
DECKS	60 P.S.F.
4. INSULATION (MINIMUM REQUIREMENTS - SEE MASCHECK REPORT FOR INSULATION NEEDED)

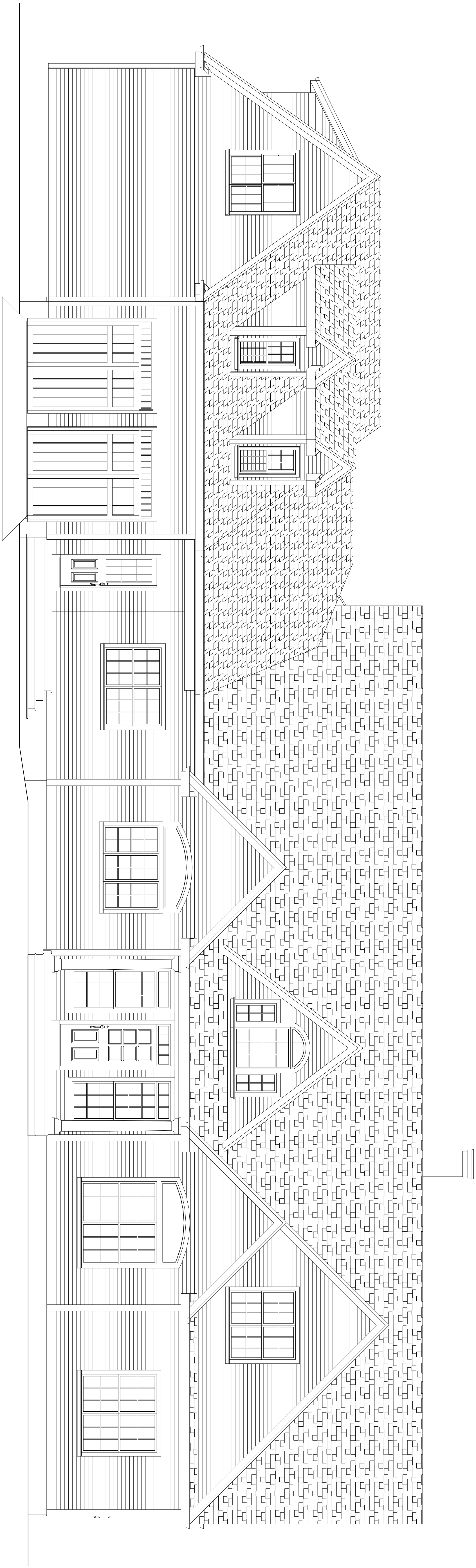
WALLS	R-11
FLOORS	R-19
CEILING	R-30
5. ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE SOLID HEADERS UNLESS OTHERWISE INDICATED.
6. 5/8" FIRECODE SHEETROCK INSIDE GARAGE @ HOUSE FOR FIRECODE REQUIREMENT.
7. EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 3.3 SQ. FT. WITH A MIN. CLEAR OPENING OF 20" X 24" IN EITHER DIRECTION AND A SILL HEIGHT LESS THAN 44" OFF THE FLOOR.
8. ALL WINDOWS WITHIN 10' OF THE FLOOR AND WITHIN 12' OF ANY DOOR SHALL HAVE TEMPFRETT 61 WALL GLAZING.
9. ALL TUB OR SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLAZING.
10. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH 1 1/2" THERSEPTIC.
11. CORNER WALL SMOKE DETECTORS TO HOUSE ELECTRICAL SYSTEM AND INTERLOCK EACH SO THAT WHEN ANY ONE IS TRIPPED THEY ALL WILL SOUND.
12. PROVIDE COMBUSTION AIR VENTS (W/SCREEN) FOR ANY APPLIANCE WITH AN OPEN FLAME.
13. BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 40 C.F.M. FAN.
14. FOOTING ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIALS AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FINAL GRADE. SOIL BEARING PRESSURE ASSUMED TO BE 2000 P.S.I.
15. ALL CONCRETE TO BE USED TO HAVE A MINIMUM OF 2,500 P.S.I. COMPRESSION STRENGTH IN 28 DAYS.
16. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESURE TREATED.
17. WATERPROOF BASEMENT WALLS BEFORE BACKFILLING.
18. BEAM POCKETS IN CONCRETE TO HAVE 1/2" AIRSPACE AT SIDES AND ENDS WITH A MINIMUM OF 3" BEARING.
19. BASEMENTS AND CELLARS NOT USED AS HABITABLE OCCUPABLE SPACE SHALL BE PROVIDED WITH A MINIMUM OF FOUR SLIDING TYPE OR AWNING TYPE BASEMENT WINDOWS FOR EVERY 1500 SQUARE FEET OF FLOOR AREA, OR MULTIPLES THEREOF, AND SHALL BE LOCATED AS NEAR AS PRACTICAL TO PROVIDE 20. PROVIDE INSULATION UNLESS AS NOTED VENTS.
21. ALL ATTICS MUST BE VENTED. VENT WITH EITHER SOFFIT OR DRIP EDGE VENT AT EAVE AND GABLE LOUVRES OR RIDGE VENT AT TOP.

CAD Designs

RESIDENTIAL HOME DESIGN	PH. (508) 398-4144
KITCHEN DESIGN	FAX (508) 398-4144
ENERGY CALC'S.	
FRAMING PLANS	E-MAIL
WOOD BEAM REPORTS	
3D VIEWS (INT. & EXT.)	WEBSITE
ANIMATED WALKTHROUGHS	

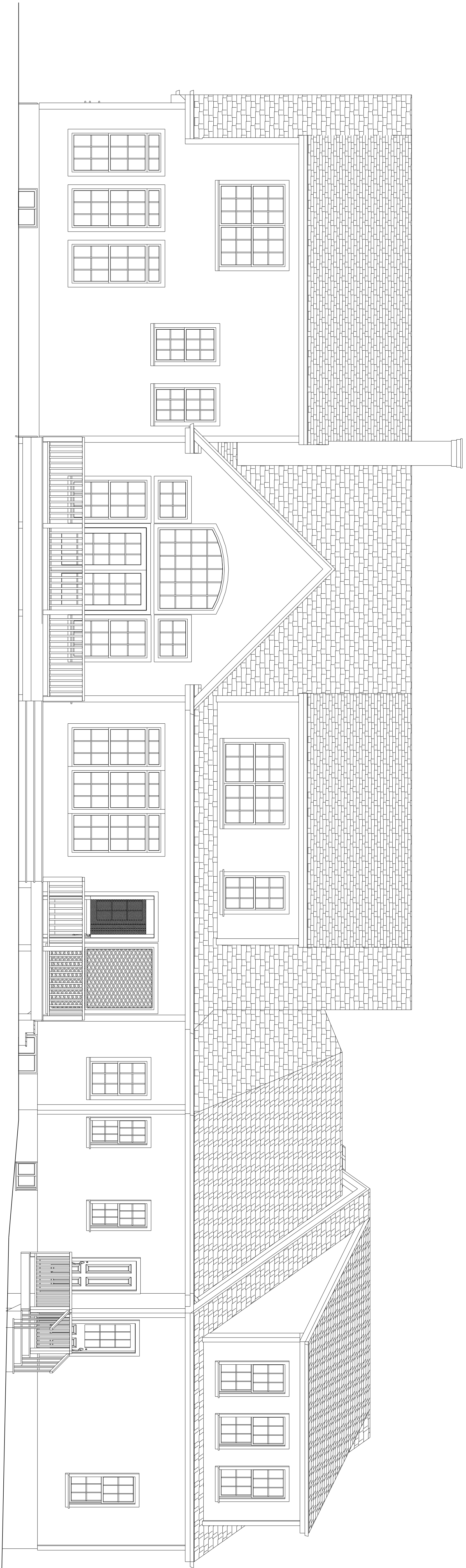
AREAS	SQUARE FOOTAGE
FINISH FLOOR AREA SQUARE FT.	
FINISHED BASEMENT AREA	N/A
1ST FLOOR AREA	2433
2ND FLOOR AREA	1147
TOTAL FINISH FLOOR AREA	3580
GARAGES	576
BONUS ROOM	480
SCREENED PORCH	150
COVERED PORCHES	81
WOODEN DECKS	460

PAGE INDEX	
1.	TITLE PAGE
2.	FRONT & REAR ELEVATIONS
3.	LEFT & RIGHT ELEVATIONS - 3D OVERVIEWS
4.	GARAGE ELEVATIONS
5.	FOUNDATION PLAN
6.	1ST FLOOR PLAN - WINDOW SCHEDULE
7.	2ND FLOOR PLAN - WINDOW SCHEDULE
8.	CROSS SECTIONS - A, B, C, D,
9.	CROSS SECTIONS - D, E, F, & ROOF BEAM PLAN
10.	ROOF SLOPE PLAN
11.	DECK FOOTING PLAN
12.	1ST FLOOR FRAMING PLAN
13.	2ND FLOOR FRAMING PLAN
14.	GENERAL DETAILS & NOTES
15.	GENERAL DETAILS
16.	GENERAL DETAILS
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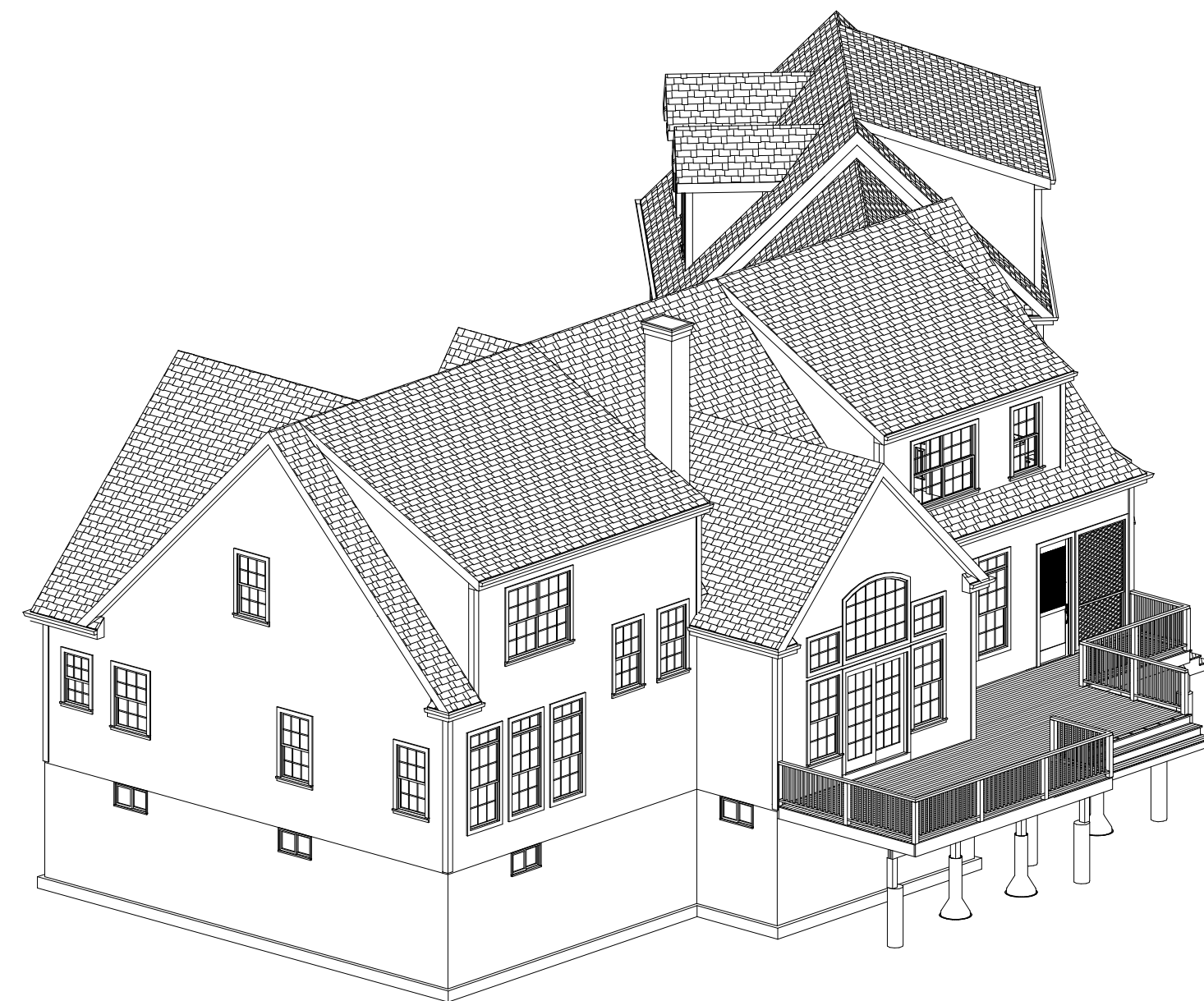
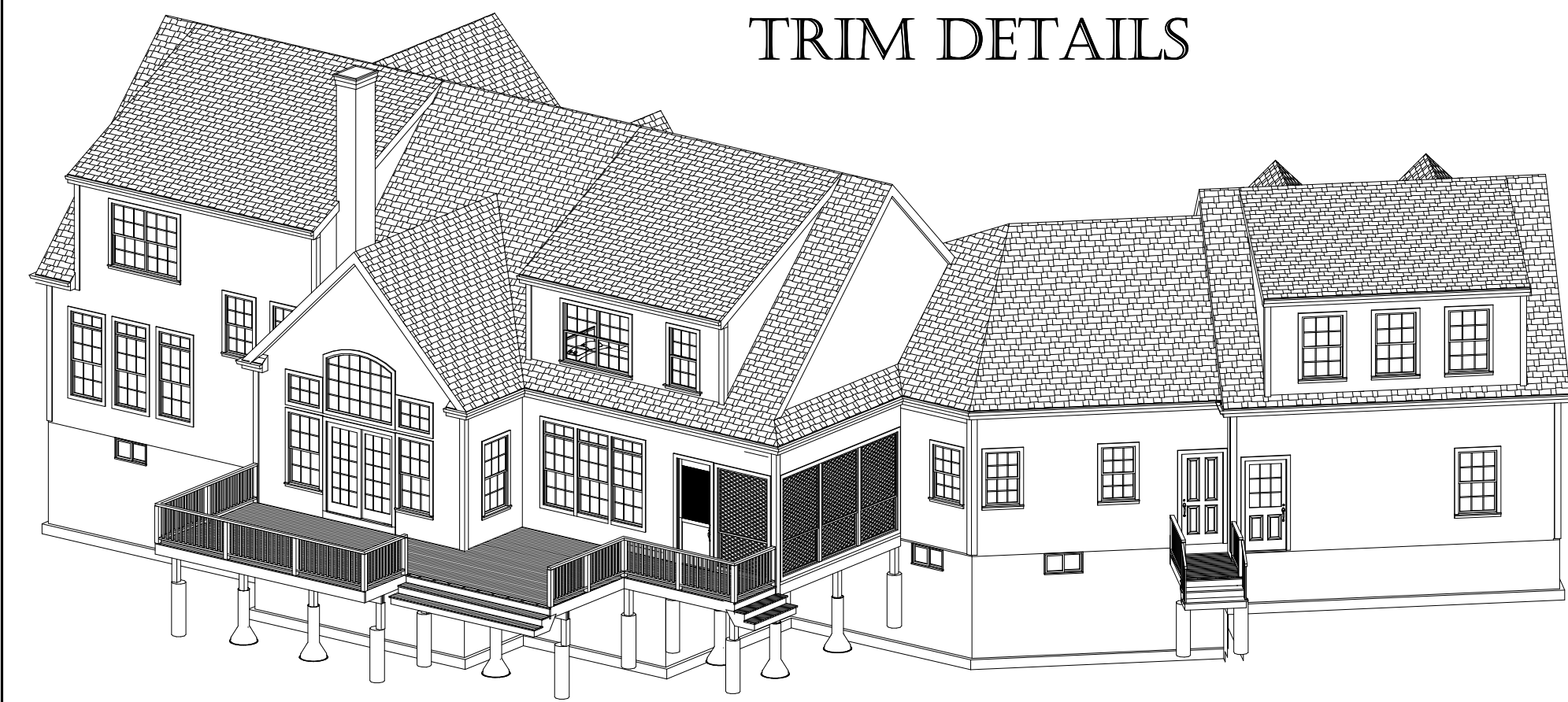
FRONT ELEVATION

REAR ELEVATION





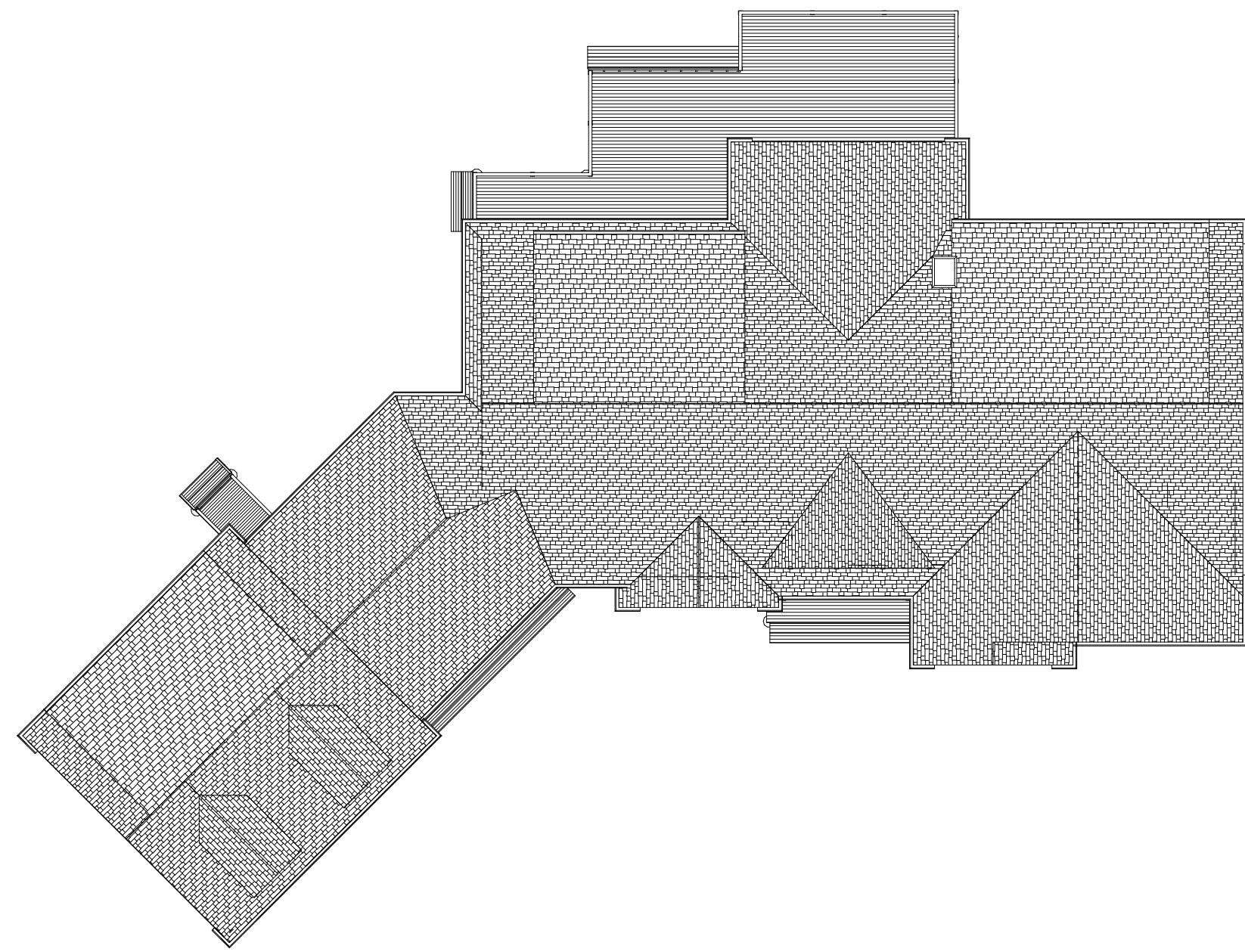
3D OVERVIEWS ARE FOR
ROOF VISUALIZATION
ONLY - SEE BUILDERS
SPEC'S FOR ACCURATE
TRIM DETAILS



RIGHT ELEVATION



LEFT ELEVATION



○ 3D ROOF OVERVIEW –
NOT TO SCALE



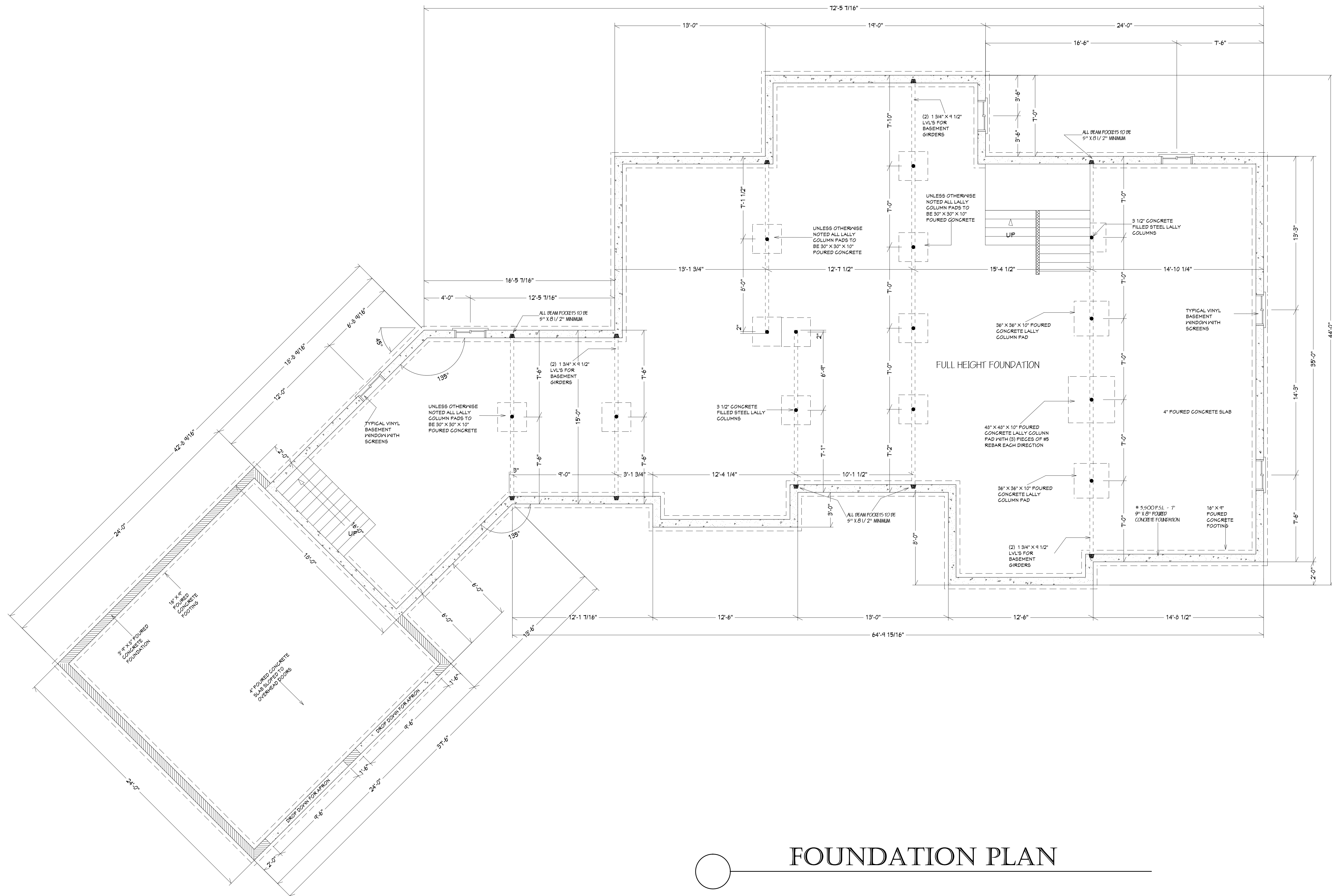
○ GARAGE FRONT ELEVATION
– 3/16" = 1'



○ GARAGE LEFT ELEVATION
– 3/16" = 1'

○ GARAGE RIGHT ELEVATION
– 3/16" = 1'





FOUNDATION PLAN

DRAWN BY	JAY M.	CAD	DESIGNS	www.caddesigns.biz
	(508) 398-4144			
		(508)	#46 MONTGOMERY STREET - LAKEVILLE, MA.	
DATE OF FINAL ISSUE				
1/1/05				
2/27/05				
SCALE UNLESS NOTED OTHERWISE				
1/4" = 1'				
5				
PAGE #				

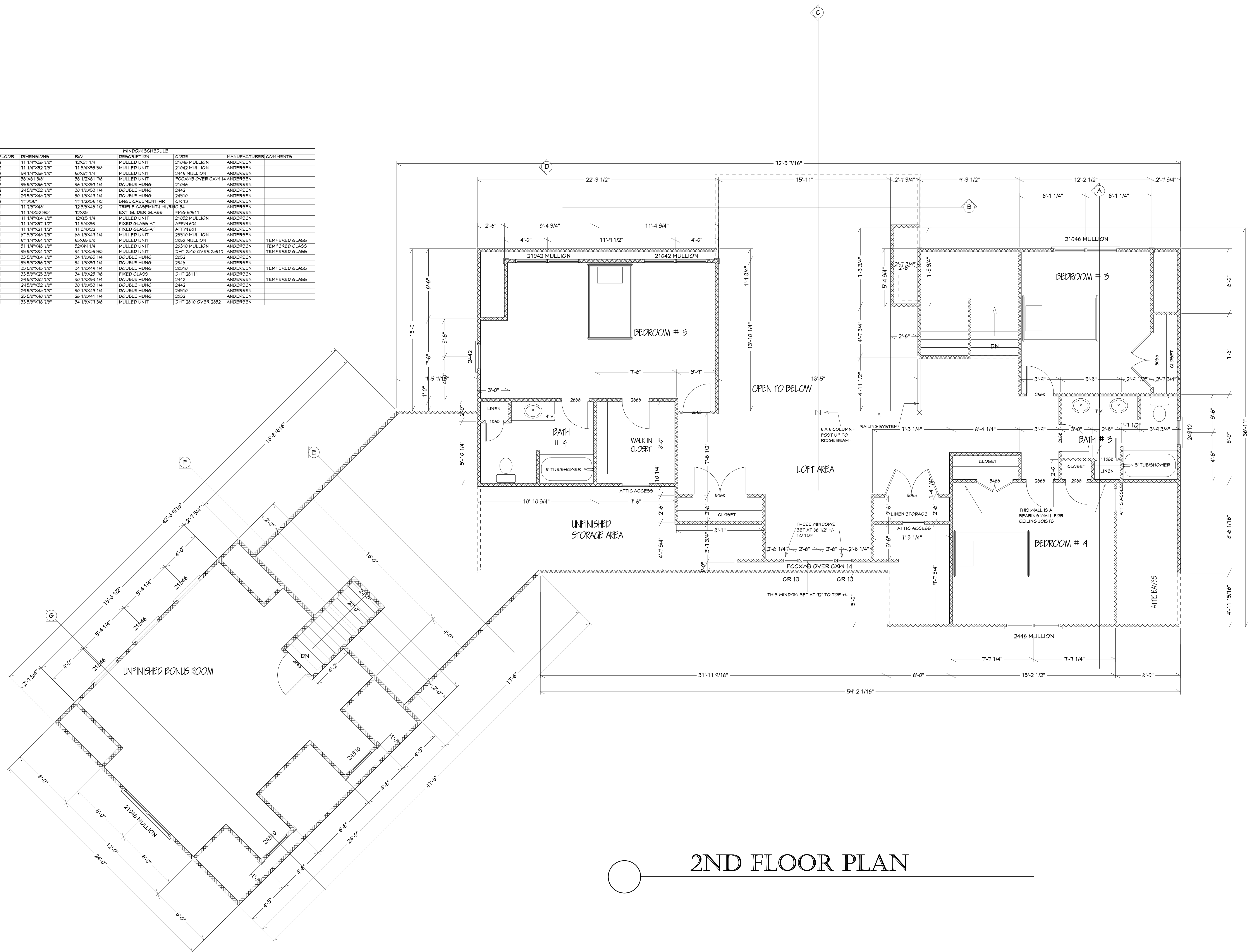
Architectural floor plan of a building with a 2-car garage. The plan includes dimensions for walls, openings, and overall building footprint. Key features include a 1/2 bath, a kitchen area with a 3' x 5' rough tread, and a 2-car garage. The plan is oriented with a dashed line indicating the 2-car garage area. The building is labeled with '2 CAR GARAGE' and '2 CAR GARAGE'.



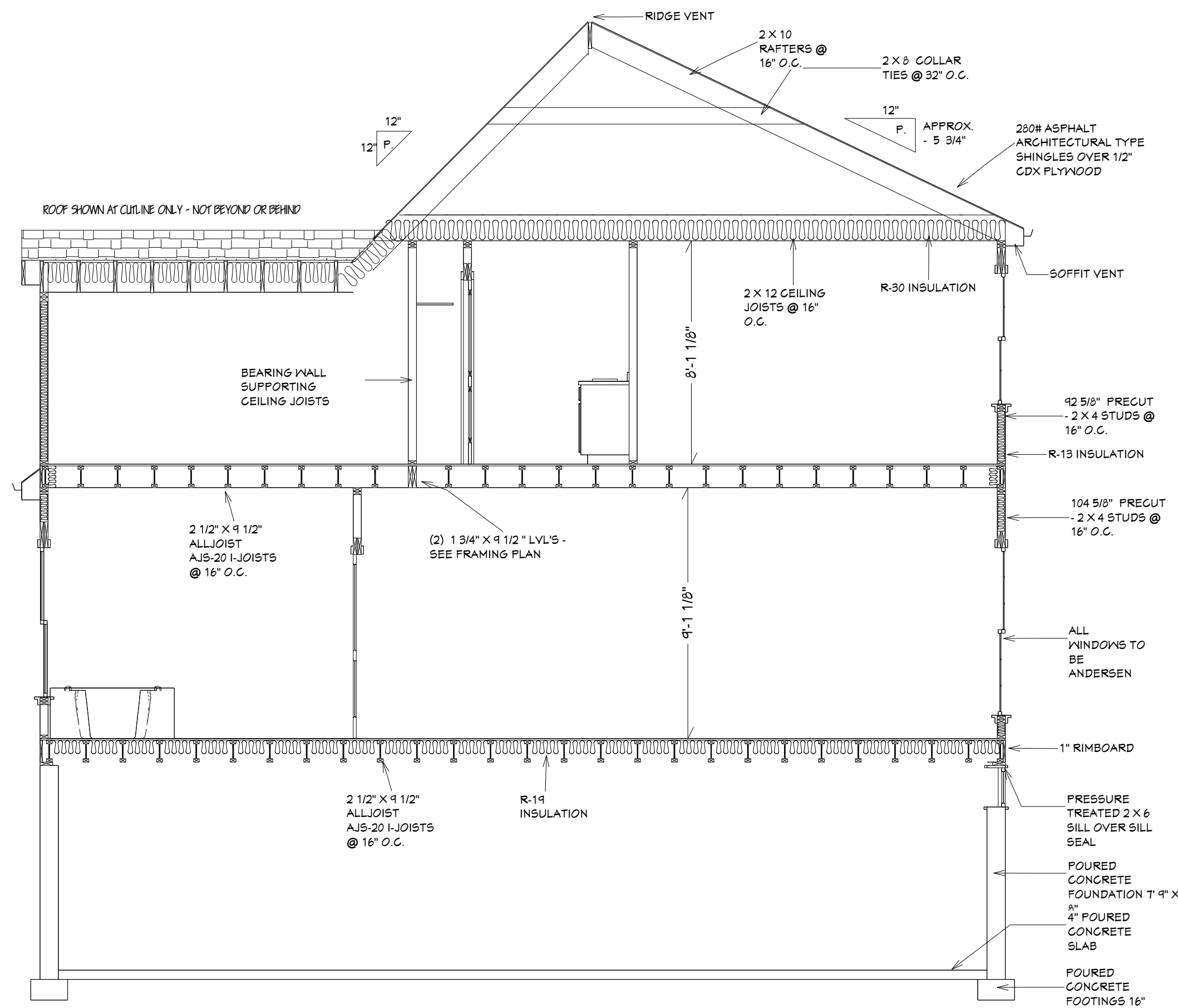
1ST FLOOR PLAN

AGE #

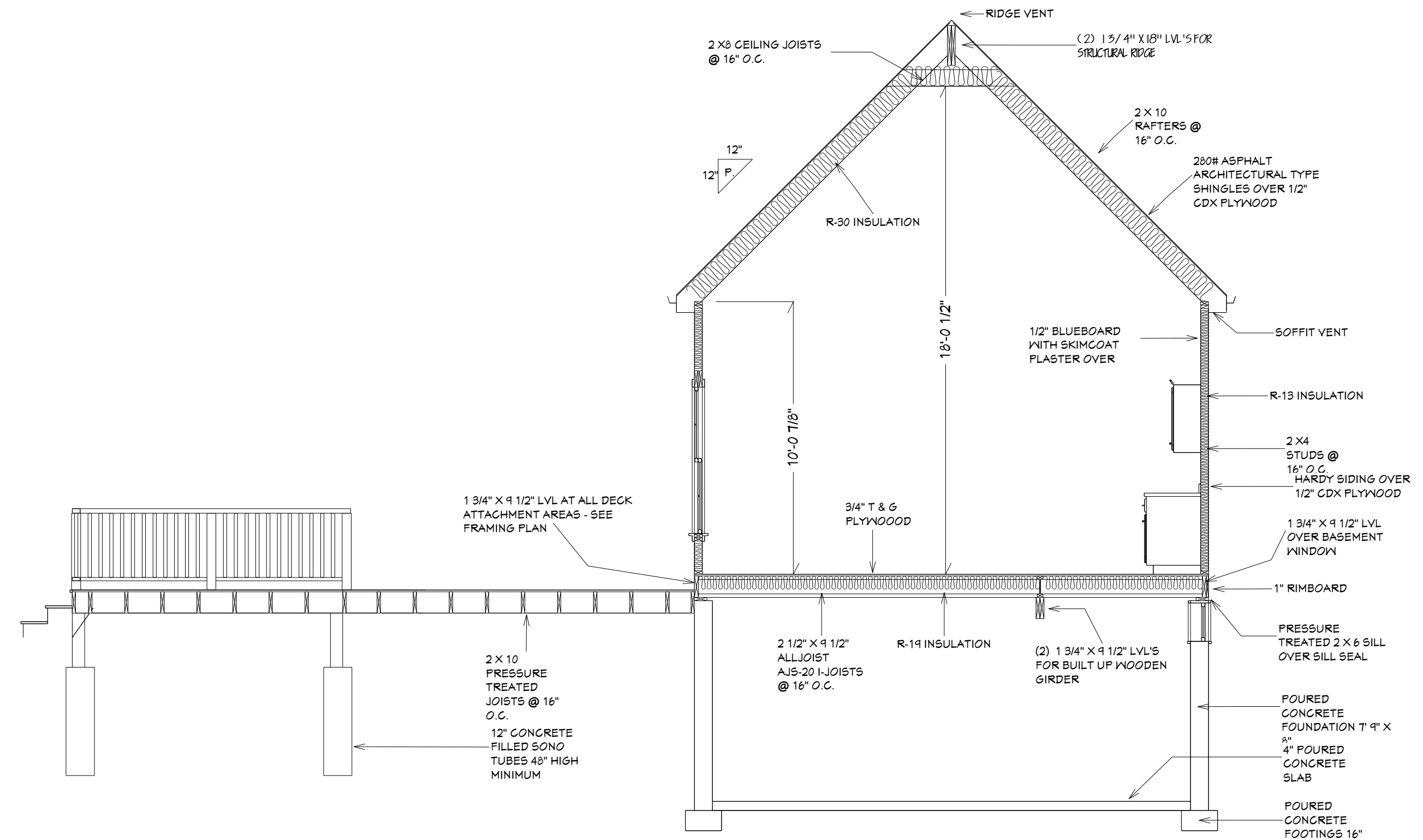
WINDOW SCHEDULE						
QTY	FLOOR	DIMENSIONS	R/O	DESCRIPTION	CODE	MANUFACTURER COMMENTS
2	2	51"14X86" 7/8"	T28X1 1/4	MULLED UNIT	21046 MULLION	ANDERSEN
1	2	11"14X86" 7/8"	160X93 3/8	MULLED UNIT	21046 MULLION	ANDERSEN
1	2	51"14X86" 7/8"	60X93 1/4	MULLED UNIT	2446 MULLION	ANDERSEN
1	2	36X81 3/8"	36 1/2X81 3/8	MULLED UNIT	PCGCVS OVER CXP1 14	ANDERSEN
3	2	35"51X86" 7/8"	30 1/8X93 1/4	DOUBLE HUNG	21046	ANDERSEN
1	2	25"51X86" 7/8"	30 1/8X93 1/4	DOUBLE HUNG	2442	ANDERSEN
2	2	25"51X86" 7/8"	30 1/8X93 1/4	DOUBLE HUNG	24310	ANDERSEN
1	2	17X86" 1/2"	12 5/8X16 1/2	SNGL CASEMENT-LH-R	24310	ANDERSEN
1	2	11"75X48"	12 5/8X16 1/2	TRIPLE CASEMENT-LH-R	24310	ANDERSEN
1	1	11"14X82 3/8"	T2X93	EXT. SLIDER-GLASS	F96 6011	ANDERSEN
1	1	11"14X84 7/8"	T2X93 1/4	MULLED UNIT	21052 MULLION	ANDERSEN
1	1	11X81 1/2" 1/2"	11"14X85 1/2"	FIXED GLASS-AT	AF1 19	ANDERSEN
1	1	11"14X21 1/2"	11 3/4X22	FIXED GLASS-AT	AF1X1 601	ANDERSEN
1	1	61"51X86" 7/8"	68 1/8X94 1/4	MULLED UNIT	28310 MULLION	ANDERSEN
1	1	61"51X86" 7/8"	68 1/8X94 1/4	MULLED UNIT	28310 MULLION	ANDERSEN
1	1	51"14X86" 7/8"	52X94 1/4	MULLED UNIT	20310 MULLION	ANDERSEN
2	1	33"51X84 7/8"	34 1/8X93 3/8	MULLED UNIT	DMT 2610 OVER 2610	ANDERSEN
3	1	33"51X84 7/8"	34 1/8X93 1/4	DOUBLE HUNG	2652	ANDERSEN
1	1	33"51X86" 7/8"	34 1/8X93 1/4	DOUBLE HUNG	2652	ANDERSEN
1	1	33"51X86" 7/8"	34 1/8X94 1/4	DOUBLE HUNG	26310	ANDERSEN
1	1	33"51X86" 7/8"	34 1/8X93 1/4	DOUBLE HUNG	DMT 2611	ANDERSEN
2	1	25"51X86" 7/8"	30 1/8X93 1/4	DOUBLE HUNG	2442	ANDERSEN
2	1	25"51X86" 7/8"	30 1/8X93 1/4	DOUBLE HUNG	2442	ANDERSEN
2	1	25"51X86" 7/8"	30 1/8X94 1/4	DOUBLE HUNG	24310	ANDERSEN
2	1	25"51X86" 7/8"	30 1/8X93 1/4	DOUBLE HUNG	2032	ANDERSEN
6	1	33"51X76 7/8"	34 1/8X93 3/8	MULLED UNIT	DMT 2610 OVER 2652	ANDERSEN



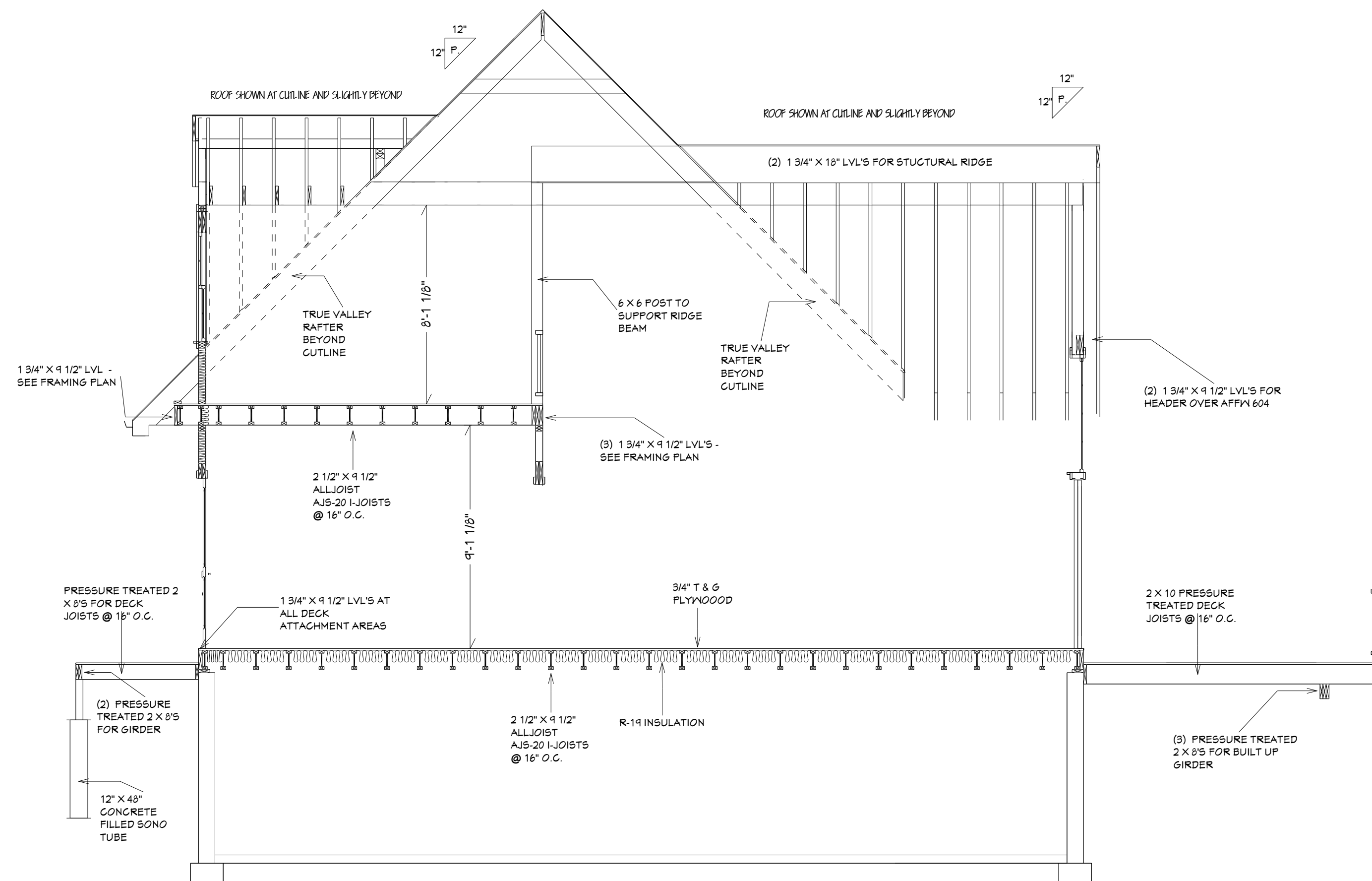
2ND FLOOR PLAN



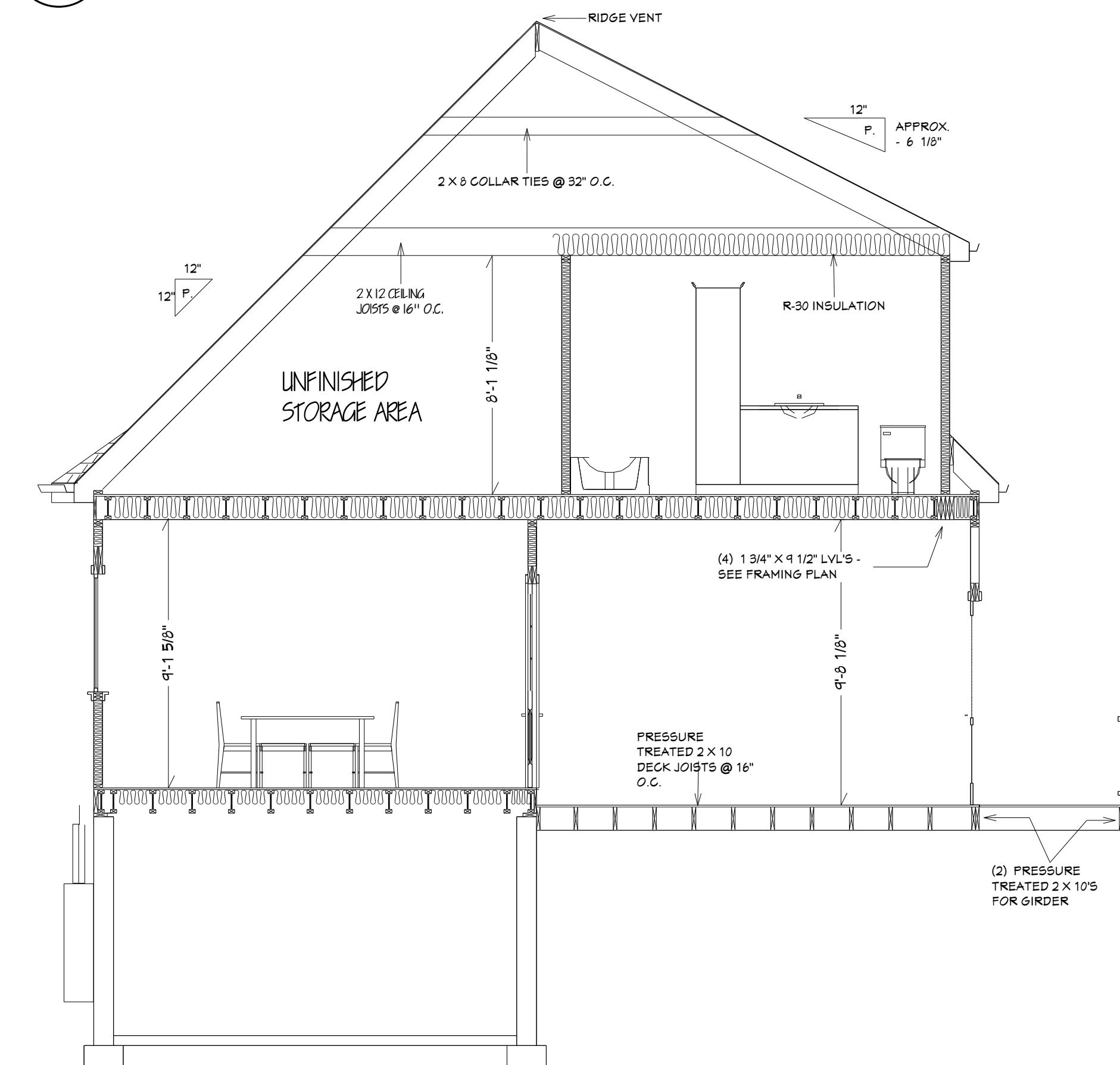
CROSS SECTION A



CROSS SECTION B

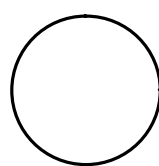
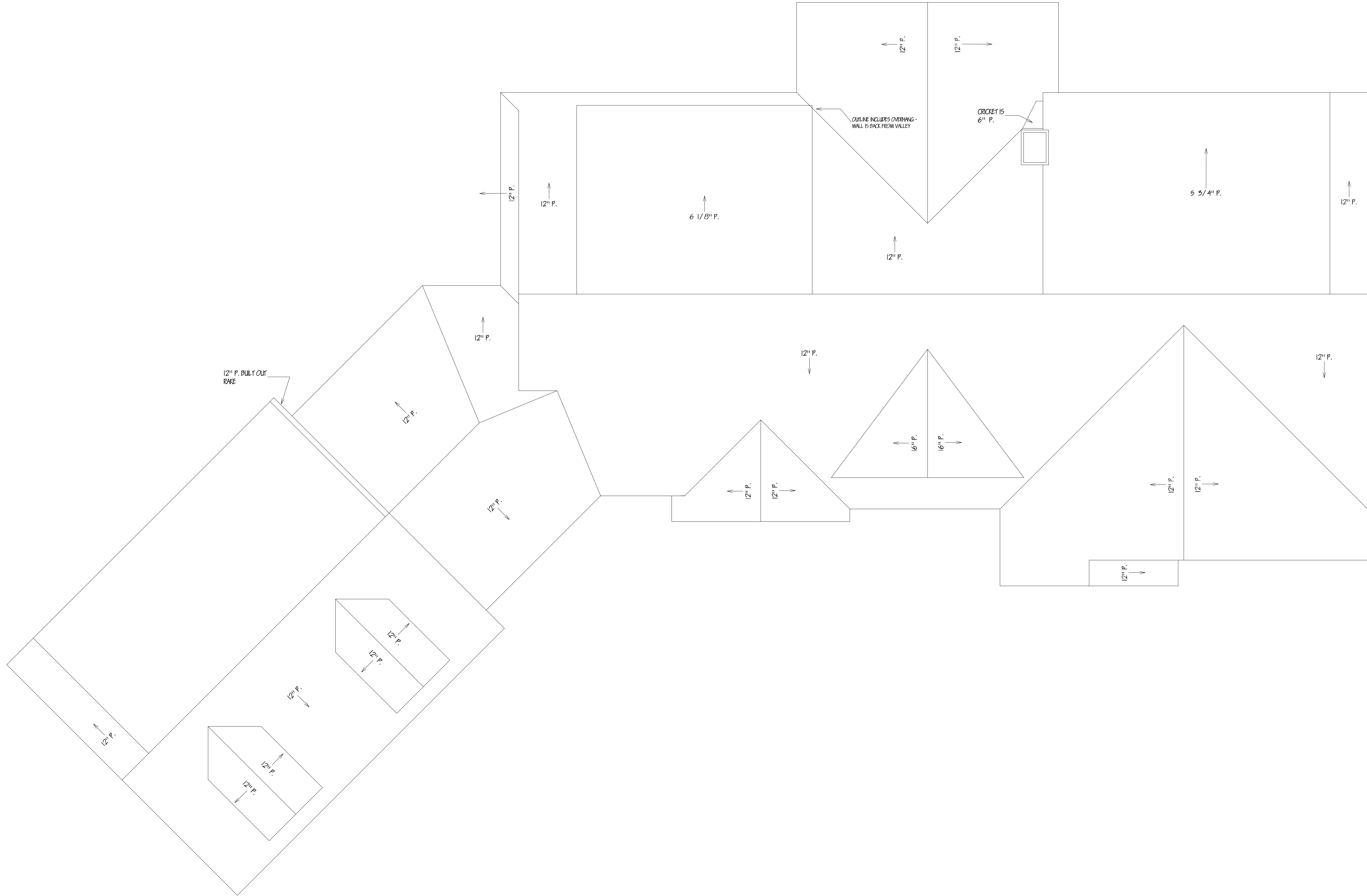


CROSS SECTION C



CROSS SECTION D





ROOF SLOPE PLAN

DATE OF
FINAL ISSUE

1/1/05

2/27/05

SCALE UNLESS
NOTED
OTHERWISE

1/4" = 1'

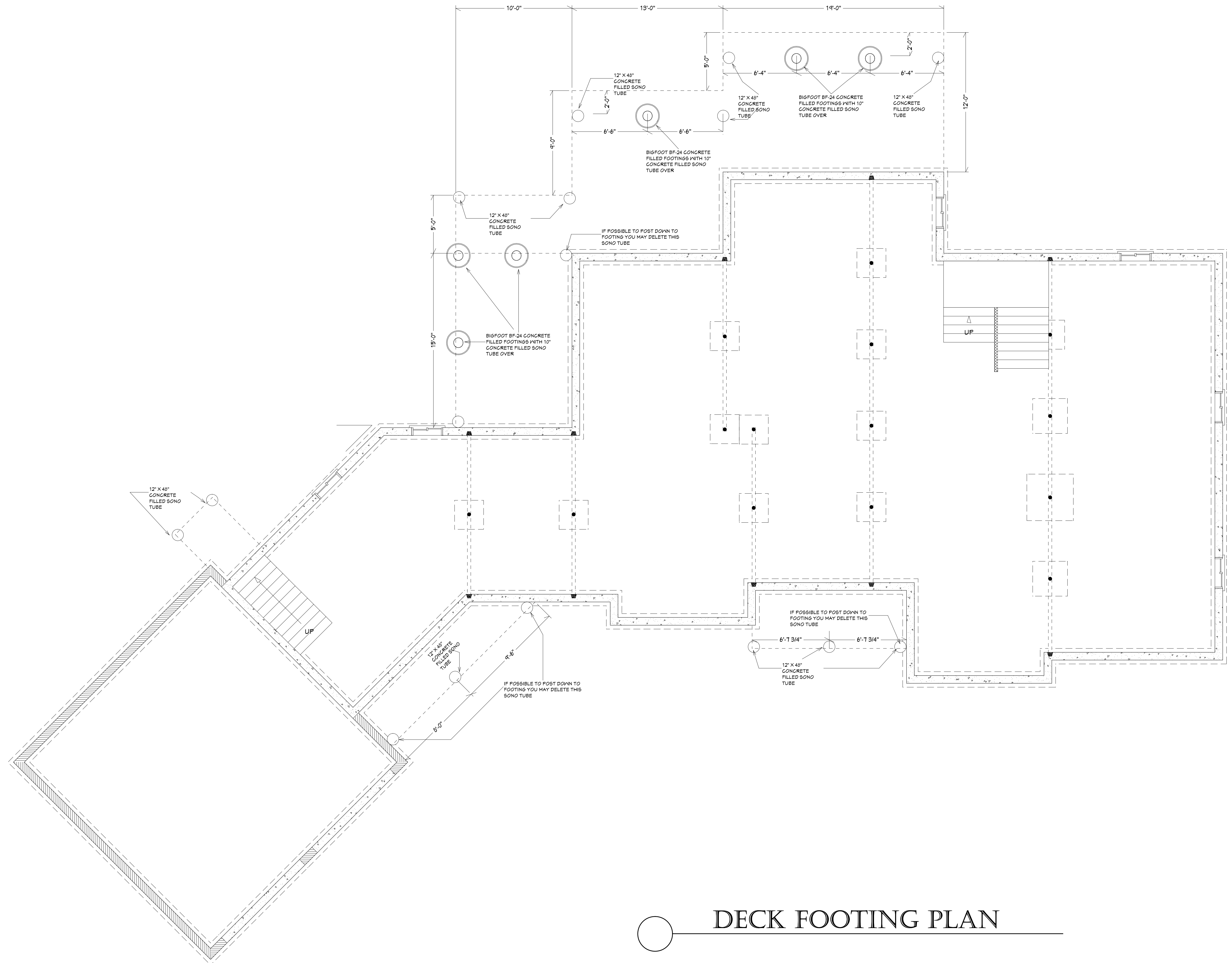
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PAGE #

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○ DECK FOOTING PLAN

